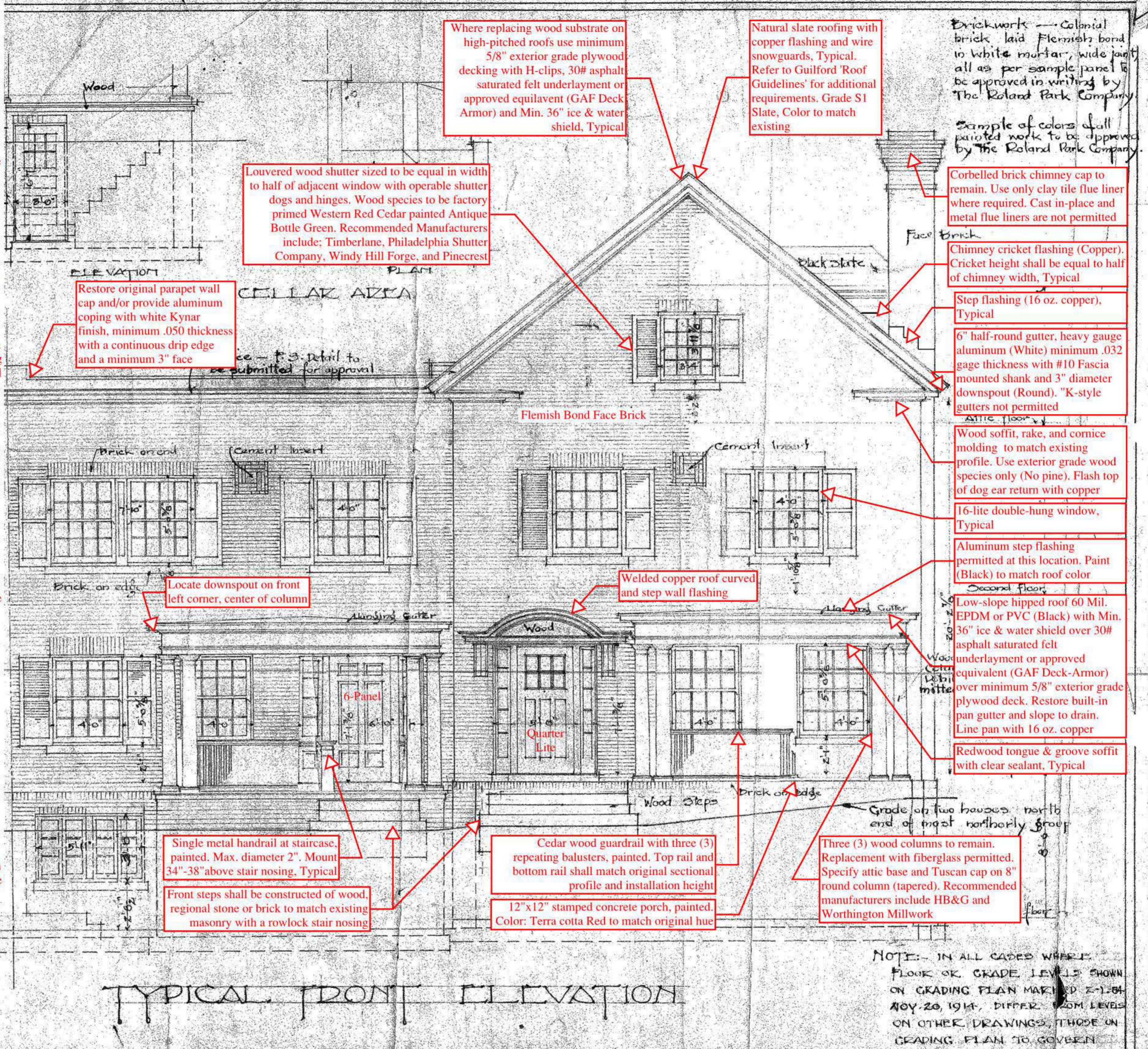


SPR

- 1.) Refer to 'Guilford's Architectural Guidelines', 'Window Guidelines', and 'Roof Guidelines' hosted on the Guilford Association website at: www.guilfordassociation.org/architecture/
- 2.) All exterior improvements, alterations, demolition and repairs shall be submitted to the Guilford Architectural Review Committee for approval prior to the commencement of work. Unauthorized and/or non-permitted work is subject to removal at the Owner's expense.
- 3.) All windows, doors, shutters, and exterior architectural woodwork shall be painted. No exceptions. Color shall be similar and contiguous with the remainder of the block. Approved colors include White or Off-White. Exterior shutters shall be Antique Bottle Green. Prior written approval shall be obtained from the Guilford Architectural Review Committee for any deviations from the color scheme.
- 4.) Exterior wood trim shall remain or be replaced in-kind with exterior grade wood species only. Use of pine is restricted. Back prime & paint woodwork a minimum of 2-coats. Covering of architectural trim with brake metal is not permitted and shall be removed where encountered.
- 5.) Wood gates and wood picket fences (Not Shown) shall be painted white. Brick piers located adjacent to the public sidewalks (Not Shown) shall remain or be reconstructed in-kind where damaged or missing. Refer to "Landscaping & Garden Structures, Fences and Walls" section of the 'Guilford Architectural Guidelines' for additional information regarding these elements.
- 6.) Sidewalks and parking pads shall be concrete with exposed aggregate similar to the Guilford standard mix. City repairs shall comply with the 'old Green Book'. Guilford residents are encouraged to contact the Guilford Association and report conditions where exposed concrete aggregate is not installed.
- 7.) Screen doors and full-lite storm doors are permitted pending submittal to the Guilford Architectural Review Committee for review and approval. Security grates, bars and doors are not permitted on exterior facades, except basement window openings.
- 8.) Exterior light fixtures shall be period correct and maintained in working order. Security lighting, including motion activated fixtures are to be directionally adjustable or shielded so no light is cast beyond the property line or public right-of-way. Use of metal halide or other high intensity discharge light fixtures is restricted.
- 9.) Carports, parking pads and garages shall be well maintained where existing. Garage roofs shall be slate to match the house. Plans for decks, accessory structures, and parking pads shall be submitted to the Guilford Architectural Review Committee for approval prior to construction.
- 10.) Chipping and/or deteriorated paint shall be stripped, primed, and repainted. Adhere to Environmental Protection Agency (EPA) Lead Renovation, Repair & Painting (RRP) rules, which went into effect April 22, 2010. Contractors shall be trained in EPA Lead-Safe Certification.
- 11.) Antennae and satellite dishes are subject to review and approval by the Guilford Architectural Review Committee and shall be hidden from view from a public way. Abandoned or unused equipment shall be removed. Patch penetrations to match existing construction.
- 12.) Maintain and paint existing fire escapes (Brick Red). Provide a clear path of emergency egress per applicable Fire and Building codes. Do not block fire escapes.



NOTE: IN ALL CASES WHERE FLOOR OR GRADE LEVEL IS SHOWN ON GRADING PLAN MARKED Z-104 NOV. 20, 1914, DIFFER FROM LEVELS ON OTHER DRAWINGS, THOSE ON GRADING PLAN TO GOVERN

HOUSE IN SECTION E - BLOCK 44
 GUILFORD - BALTIMORE
 FOR MR. W. WEDDIE COONE

Marked
 not marked

SHEET NO 1

Brickwork - Colonial brick laid Flemish bond in white mortar, wide joint, as per sample panel to be approved in writing by the Roland Park Company.

Sample of colors of all painted work to be approved by the Roland Park Company.

Natural slate roofing with copper flashing and wire snowguards, Typical. Refer to Guilford 'Roof Guidelines' for additional requirements. Grade S1 Slate, Color to match existing. Installation of synthetic slate shingles is only permitted where replacing non-conforming asphalt roof shingles

Single-ply Roof Membrane: Minimum 60 Mil. EPDM or PVC (Black) roof membrane with Min. 36" ice & water shield, 30# asphalt saturated felt underlayment or approved equivalent (GAF Deck-Armor) over Min. 5/8" Exterior grade plywood decking

Galvanized steel Bay window, painted to match cornice

Slate Dormers

Windows: Refurbishment of original wood windows preferred. Installation of Aluminum storm windows (White) permitted. Recommend Allied Historic One-Lite Bottom Removable (Hol-B) or Burch Company Energy Miser storm windows. All replacement windows on principal facades visible from a public way shall be of wood construction (Douglas Fir, Cherry, Pine, Oak, Mahogany) with factory primed finish. Bullnosing/brick molding and "Putty Style" muntins shall match original profile dimensions. Hardware locks and pulls to be brass or oil rubbed bronze. Recommended wood window brands include: Jeld Wen, Pella, Marvin, Kolbe, LePage, Trimline, and Loewen. Refer to Guilford 'Window Guidelines' for additional notes

Restore original wood railing where existing. When missing, install 6" x 6" AZEK post sleeve (White) with 2-piece AZEK post skirt & 6" x 6" AZEK island post cap. Top rail to be AZEK 5-1/2" Reserve with standard Bottom rail and 42" high AZEK balusters. Coordinate use of standard 16" surface mount bracket or 'Tallboy' with manufacturer. Provide AZEK stair rail kit for sloping conditions. 4" Max. openings

Woodwork to be painted green to match blinds. No detail to be submitted for approval.

Basement Door: Refurbish & restore existing 1-3/4" thick solid wood door. Replacement with 4-panel steel door will be considered on a case-by-case basis where facing a public alley

Canvas Awnings: Forest Green or approved Earth tones with 10" scalloped valance permitted upon review and approval by the Guilford Architectural Review Committee

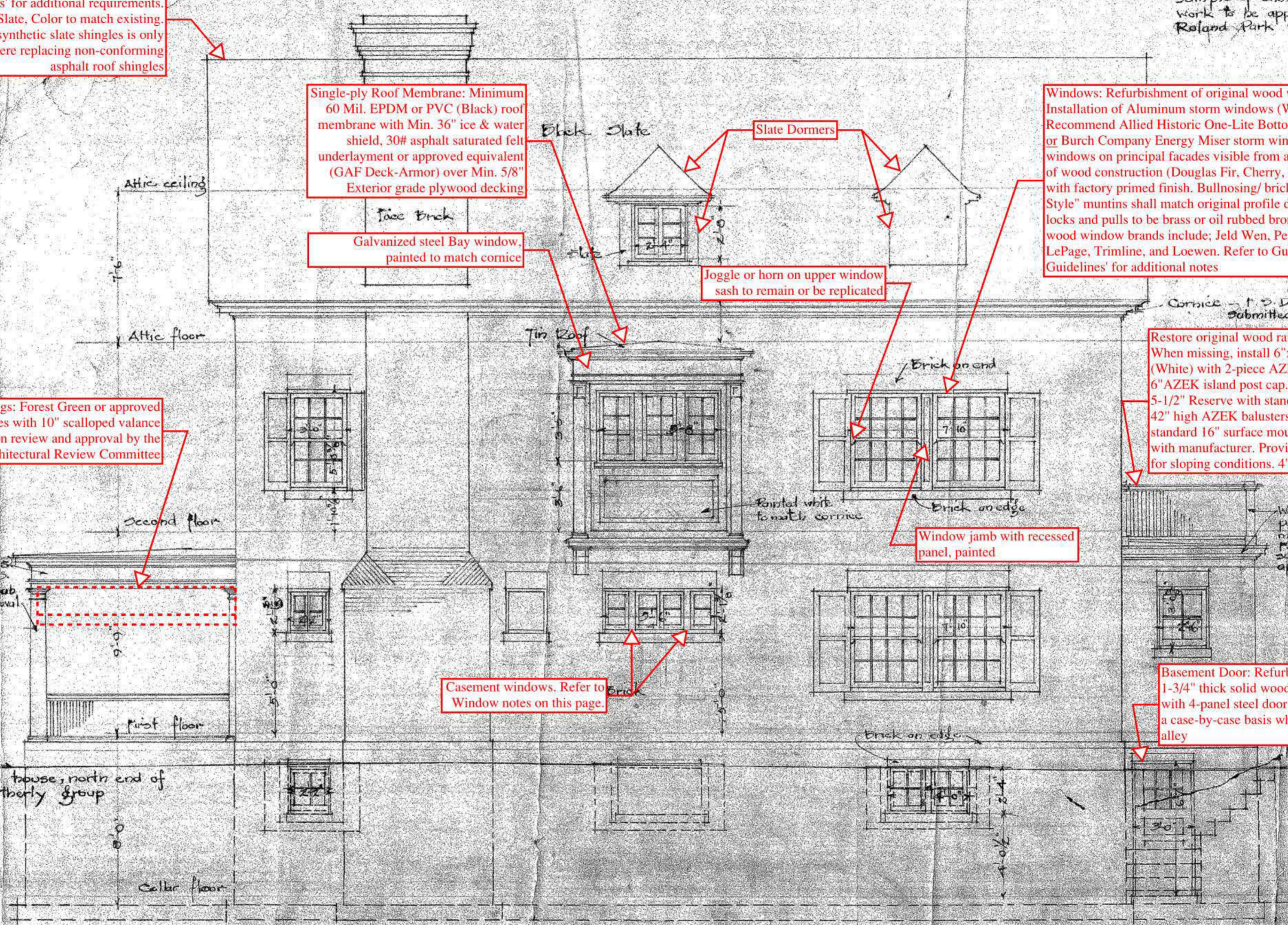
Casement windows. Refer to Window notes on this page.

Window jamb with recessed panel, painted

Wood Cornice & Columns - F.S. detail to be submitted for approval.

Grade on house, north end of most northerly group

NOTES - In all cases where floor or grade levels shown on Grading plan marked as "N" or "D" differ from those on other plans, those on grading plan to govern.



TYPICAL SIDE ELEVATION

HOUSES IN SECTION E - BLOCK 44

GUILFORD - BALTIMORE

FOR MR. C. W. DOSTER CO. INC.

Handwritten signature and name of the architect.

NOV 20 1914

SHEET NO. 2

GENERAL NOTES:

1.) Care should be taken in the maintenance and upkeep of rear facades as they are highly visible from adjacent properties.

2.) All exterior elements are subject to the Guilford Deed and Agreement which sets standards for the protection of the aesthetic environment through the Board's Architectural Committee and 'Guilford Architectural Guidelines', 'Window Guidelines' and 'Roof Guidelines' developed for the neighborhood.

Restore open porch where missing or in disrepair

Redwood tongue & groove soffit with clear sealant. Typical

Aluminum Clad Exterior/Wood Interior replacement Windows are permitted for use on rear facades only. All new windows shall match original details and dimensions including: muntin profiles, sash dimensions and glazed lite area. Preference is given to the same manufacturer as the windows on the front and side facades for continuity of detail. Use of Vinyl windows is restricted. No Exceptions.

Paint all vent stack pipes mounted to rear facade (Brick Red) to hide. Paint pipes (White) where crossing trim

Low slope Roof: 4-ply modified bitumen roof membrane, heat applied with silver/white mineral surfaced cap sheet. 1/2" thick glass-mat water resistant cover board equal to Dens-Deck Prime over Rigid closed cell foam insulation board with black fiberglass-reinforced mat on both sides. Average R-Value of residential roof is R-49 per 2015 IECC. Min. insulation thickness at lowest point 2". Stagger joints. Wood blocking shall be pressure treated.

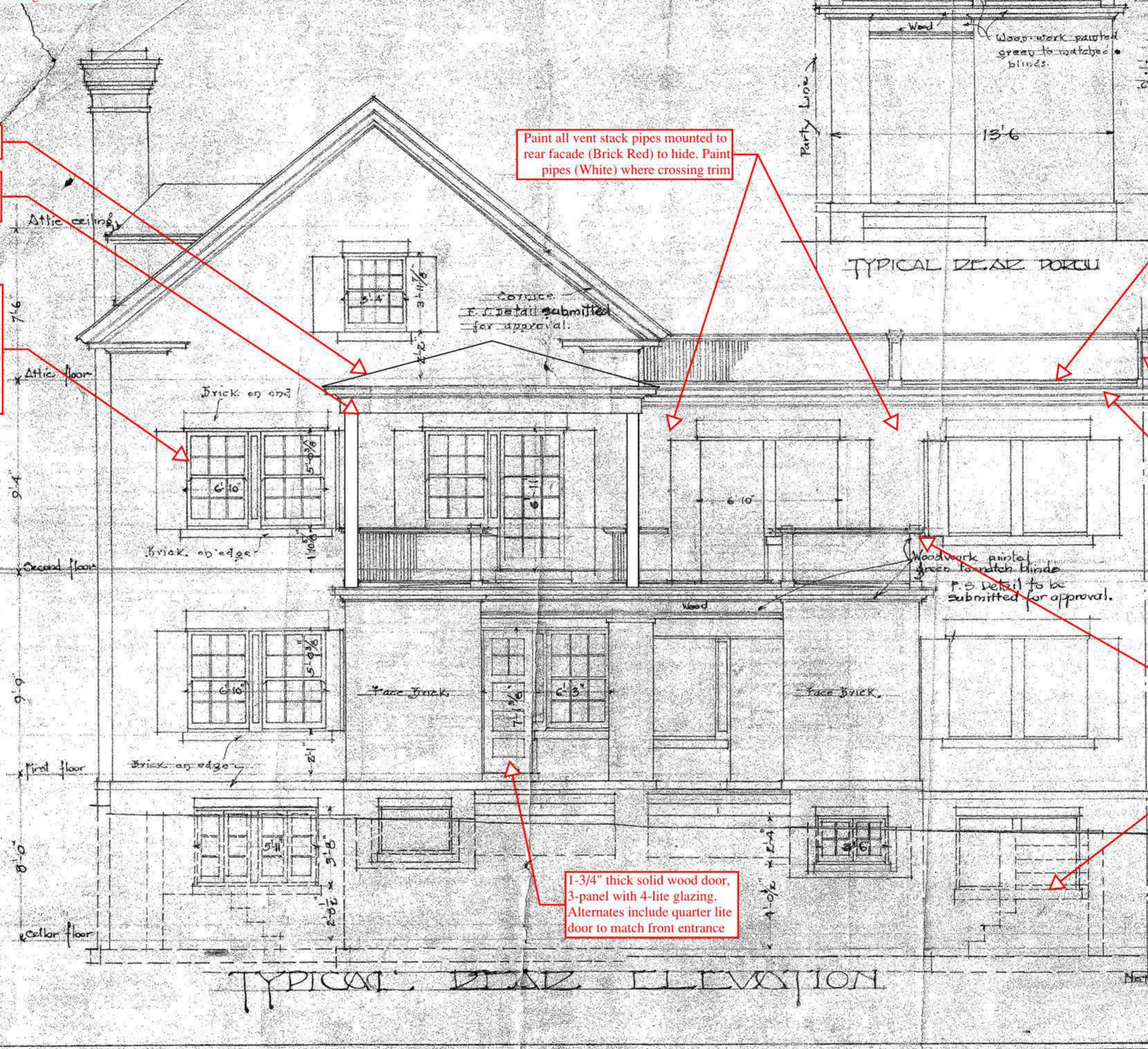
Historic wood post and guardrail construction (Unbuilt)

6" half-round gutter, heavy gauge aluminum (White) minimum .032 gage thickness with #10 Fascia mounted shank and 3" diameter downspout (Round). "K-style" gutters not permitted

Metal guardrail with turned balusters, painted (Black) to match original construction or Optional 4"x 4" AZEK post sleeve (White) with 4" sure mount posts, 4"x 4" post skirt and 5-1/2"x 5-1/2" AZEK Premier top cap with 42" balusters. Coordinate use of standard 16" surface mount bracket or 'Tallboy' with manufacturer. Provide AZEK stair rail kit for sloping conditions. 4" Max. openings

Cellar stairs shall be concrete with round ogee nosing or brick to match house with rowlock stair nosing

1-3/4" thick solid wood door, 3-panel with 4-lite glazing. Alternates include quarter lite door to match front entrance



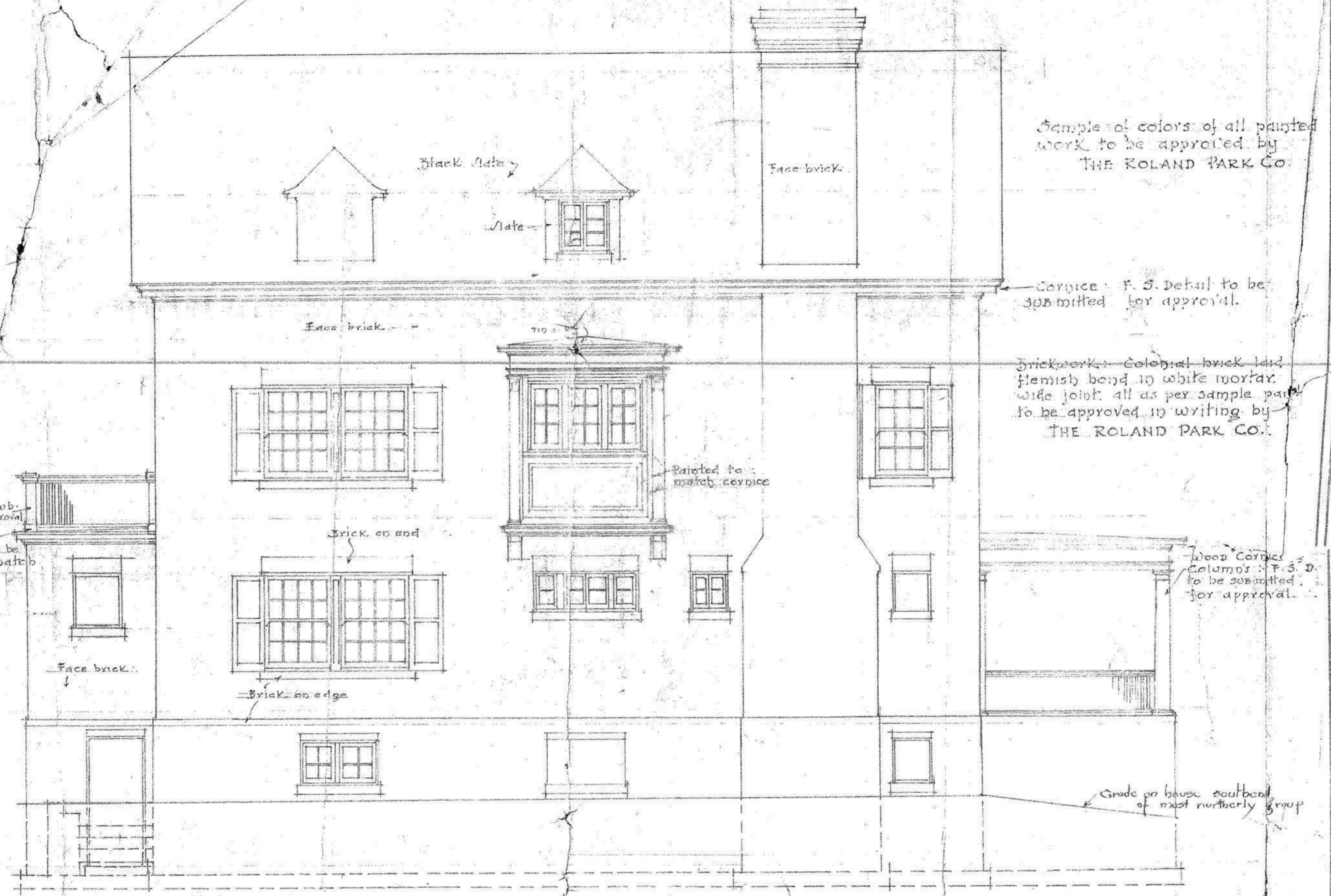
Brickwork: Colonial brick laid in white mortar wide joint. All as sample panel to be approved in writing by THE ROLAND PARK CO.

Sample of colors of all painted work to be approved by THE ROLAND PARK CO.

Grade on two houses to north end of most northerly group

NOTE: IN ALL CASES WHEN FLOOR OR GRADE LEVELS SHOWN ON GRADING PLAN MARKED 2-1-11 NOV 20 1111 DIFFER FROM THOSE ON OTHER DRAWING OR GRADING PLAN TO GOVERN.

HOUSES IN SECTION E - BLOCK 44. J. H. ...
GUILFORD - BALTIMORE
102 N. W. ...
NOV 20 1914
SUBJECT NO 5



Sample of colors of all painted work to be approved by THE ROLAND PARK CO.

C cornice F.S. Detail to be submitted for approval.

Brickwork Colonial brick laid Flemish bond in white mortar wide joint all as per sample part to be approved in writing by THE ROLAND PARK CO.

Painted to match cornice

Wood cornice columns F.S.D. to be submitted for approval.

Grade on house southeast of next northerly group

NOTE: IN ALL CASES WHEN FLOOR OR GRADE LEVEL SHOWN ON GRADING PLAN MARKED Z.L. 84 NOV 20, 1914 DIFFER FROM LEVELS ON OTHER DRAWINGS, THOSE ON GRADING PLAN TO GOVERN.

TYPICAL SIDE ELEVATION

HOUSE IN SECTION E - BLOCK 44

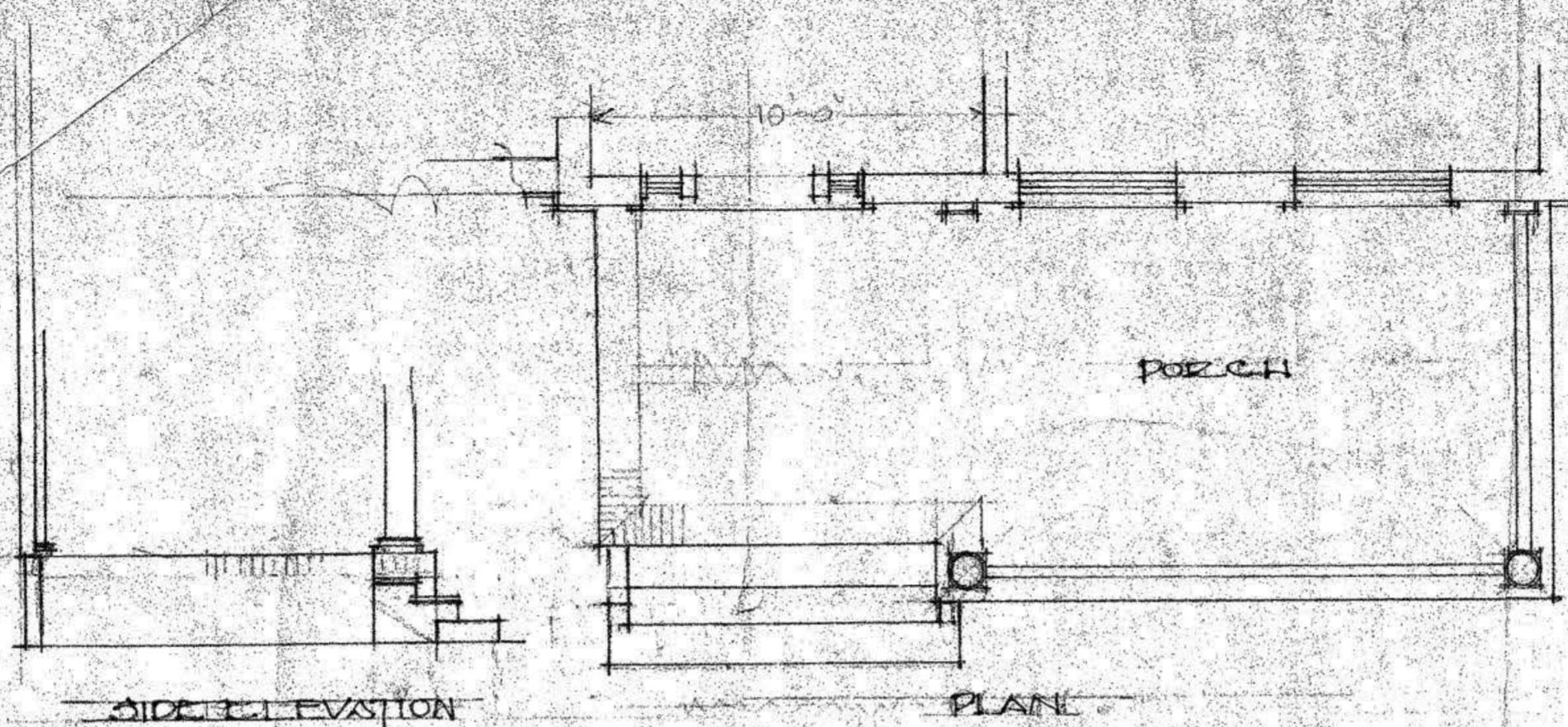
GUILFORD - BALTIMORE

FOR MR. U. WEDDILL COOK

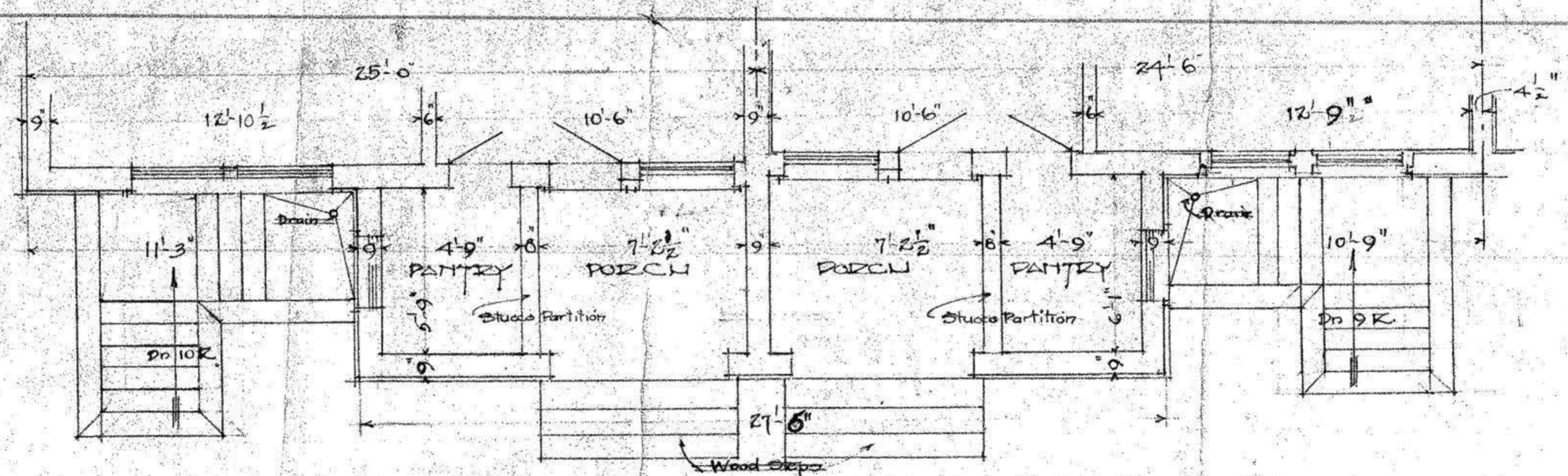
Stephen Cook
Architect

NOV 20 1914

SHEET NO 5



ENTRANCE TO GARAGE HOUSES



PLAN SHOWING REAR PORCHES & CELLAR AREAS

NOTE: IN ALL CASES WHERE FLOOR OR GRADE LEVELS SHOWN ON GRADING PLAN MARKED Z-L-84 NOV. 20, 1914, DIFFER FROM LEVELS ON OTHER DRAWINGS, THOSE ON GRADING PLAN TO GOVERN.

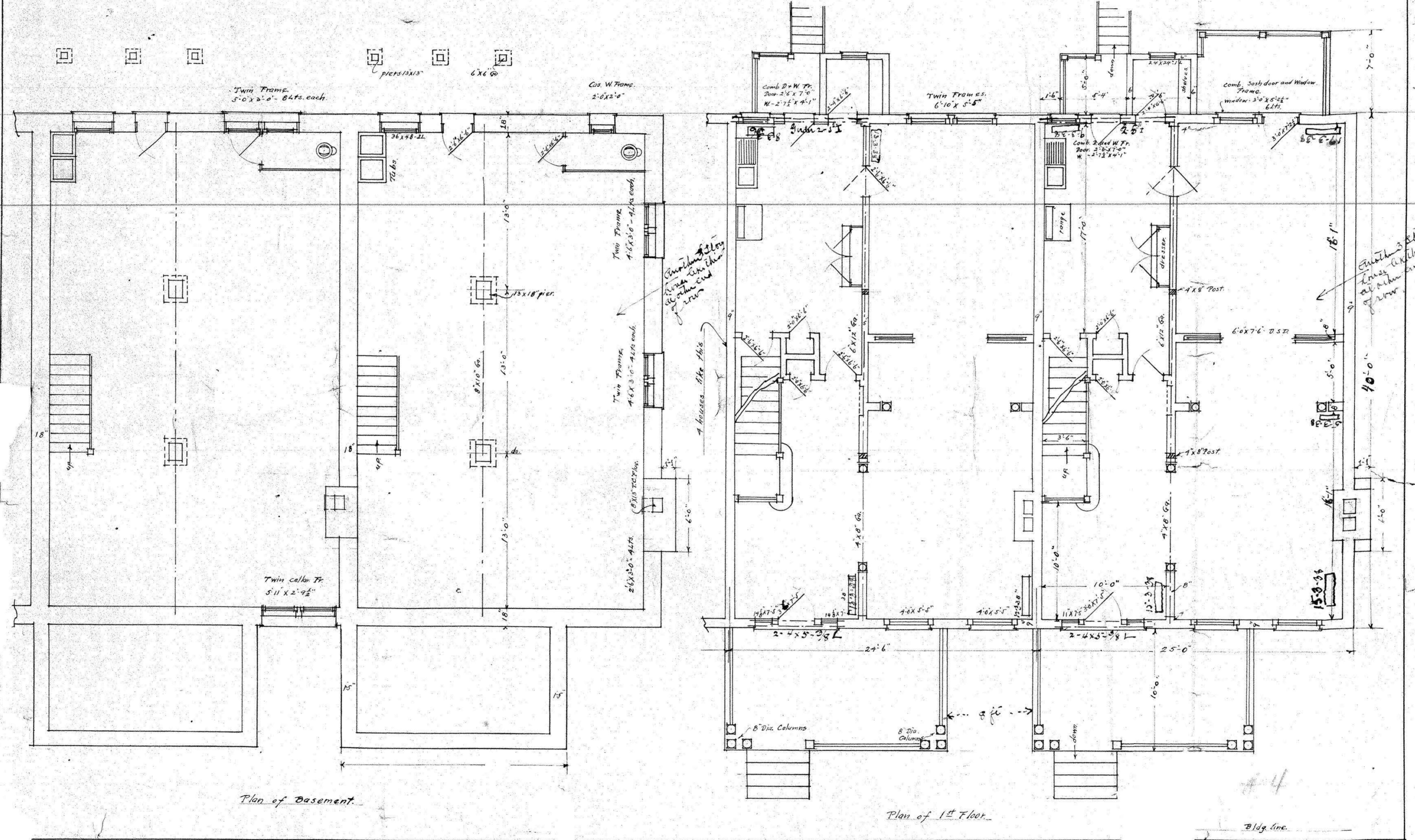
HOUSES IN SECTION I - BLOCK 44
 GUILFORD - BALTIMORE
 FOR MR. WEDSTER COOK

W. H. H. H. H.
Justus H. H. H.

NOV 20 1914

SHEET NO. 4

Plans for 6 Dwellings for H. Webster Cooke W.S. York Rd. ^{South of} Bretton Place
J.C. Spedden Archt. May - 1917. Scale 1/4" = 1'-0"

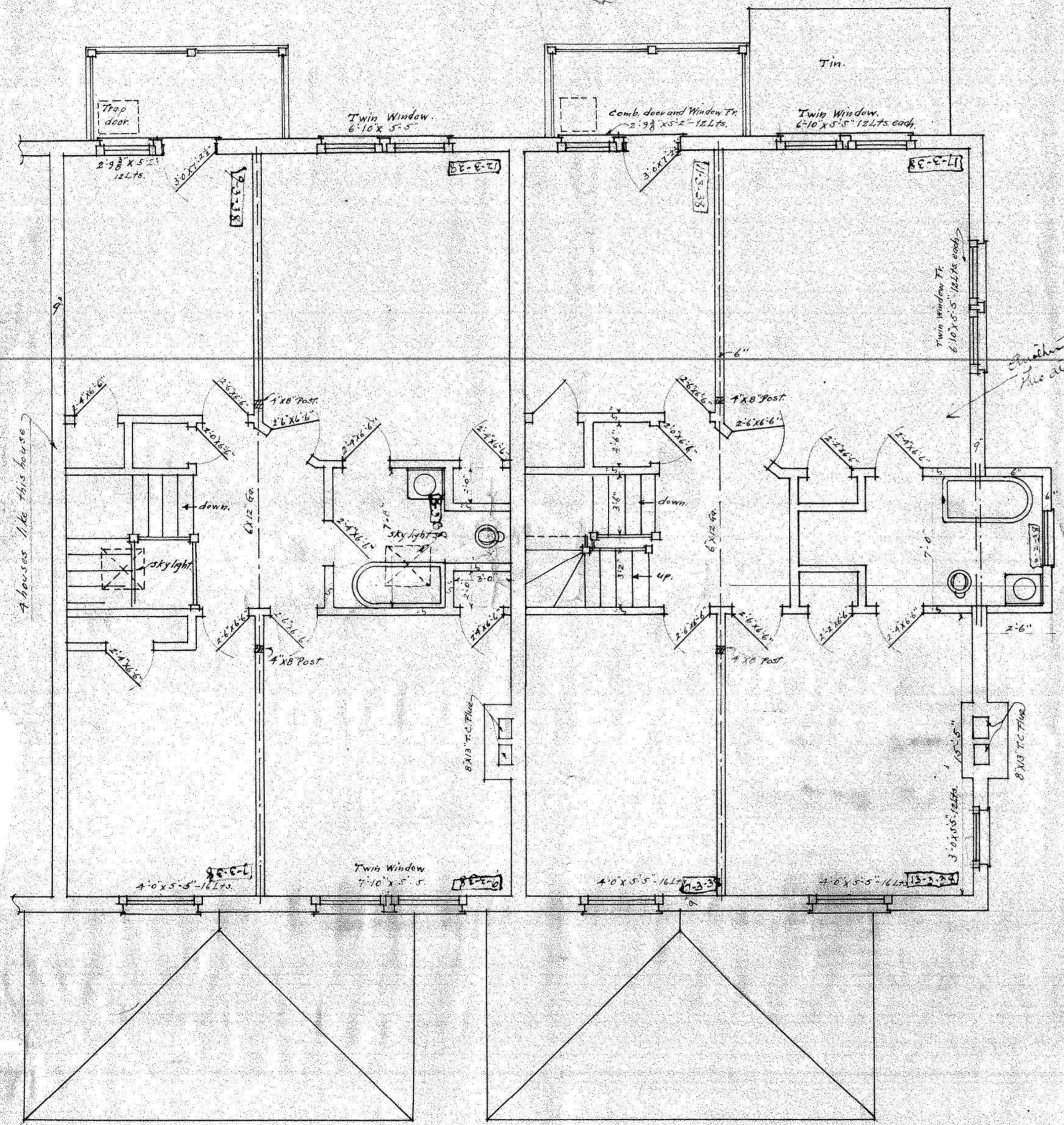


Plan of Basement.

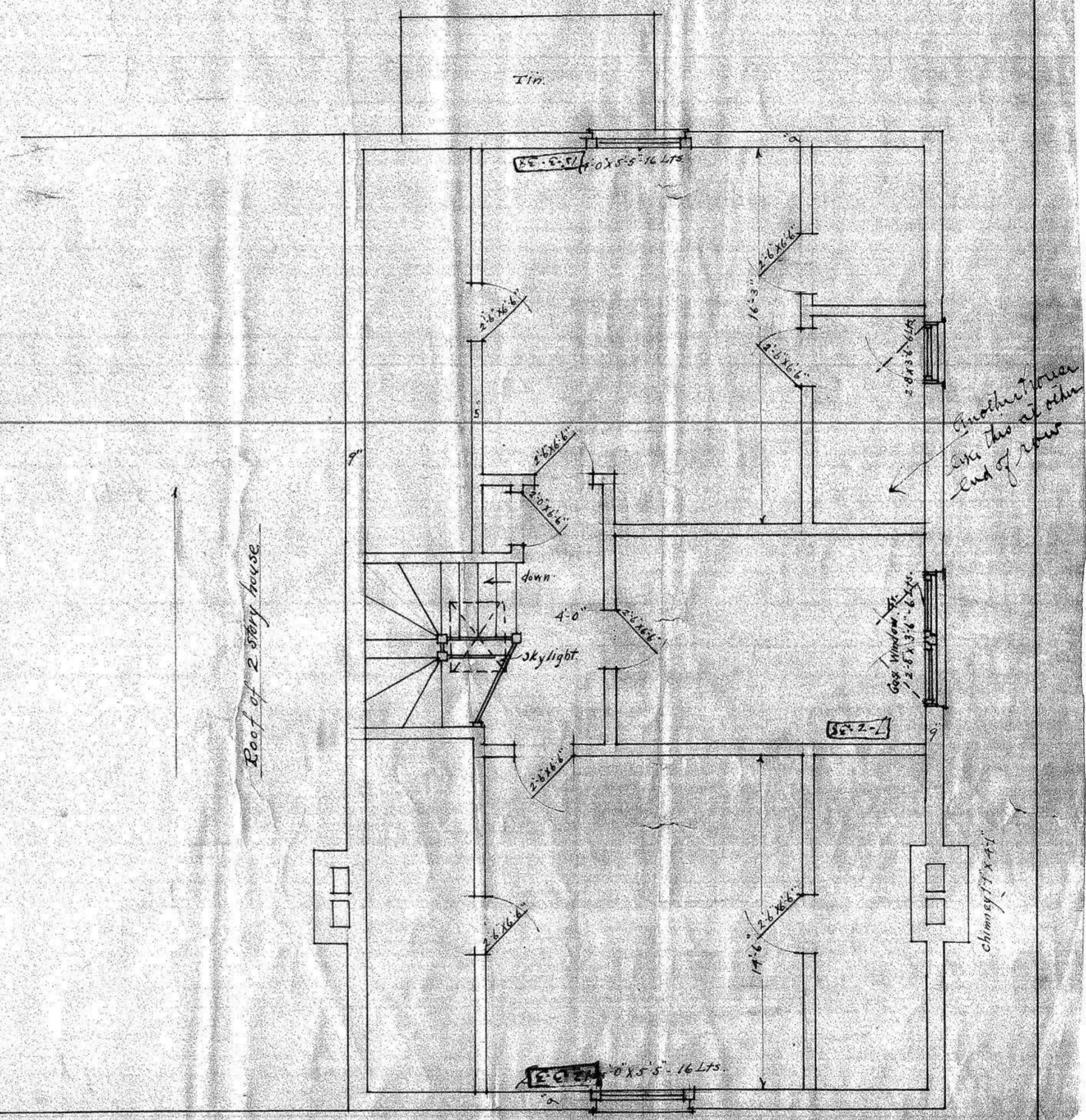
Plan of 1st Floor.

Bldg. line.

Plans for 6 Dwellings for H. Webster Cooke, W.S. York Rd. S. of Bretton Place.
J.C. Spedden Archt. May - 1917. Scale 1/4" = 1'-0"



Plan of 2nd Floor.



Plan of 3rd Floor.

